



Spring Vale, Worcester Road, Newnham Bridge, Tenbury Wells, WR15 8LL

Offers in the region of £375,000



Holters
Local Agent, National Exposure

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Spring into action and view this stunning cottage, conveniently located approx. 1 mile from Tenbury! Spring Vale offers 3 double bedrooms, 3 reception rooms including an open-plan kitchen/diner, immaculately presented accommodation, a garage, parking and landscaped gardens stretching to approx. 1/3 of an acre.

Key Features

- Semi-Detached Cottage
- 3 Double Bedrooms & 2 Reception Rooms
- Open-Plan Kitchen Diner
- Beautifully Presented Accommodation
- Period Features
- Landscaped Gardens
- Set in Approx. 1/3 of an Acre
- Detached Garage & Ample Off Road Parking
- Distant Views Across Surrounding Countryside
- Semi-Rural Position Approx. 1 Mile from Tenbury Wells

The Property

Introducing Spring Vale, which is a beautifully presented, 3 double bedroomed, semi-detached, period property found in a semi-rural position, approximately 1 mile from the market town of Tenbury Wells, which sits on the county border of Shropshire and Worcestershire, surrounded by glorious countryside as far as the eye can see.

Thought to originally date circa mid-19th century, this unique cottage has been upgraded and lovingly maintained by the current owners over recent years and retains a selection of character features including fireplaces and exposed timber floors and beams, whilst also offering a pleasant blend of contemporary finishings to cater the needs of modern day living like the newly installed 'Worcester' combi boiler and UPVC double glazed windows and external doors throughout. This deceptively spacious property offers 2 reception rooms, as well as an

impressive open-plan 'farmhouse' style kitchen/diner. Outside, there is a useful utility, a gated driveway providing ample off road parking, a detached garage and landscaped gardens, which stretch to approximately 1/3 of an acre. Last, but certainly not least, the property enjoys panoramic, far reaching views across the surrounding countryside.

The accommodation spans across 2 floors and is made up on the ground floor of an entrance porch, sitting room with a feature fireplace and inset wood-burning stove, living room, which again features a fireplace and has stairs rising off to the first floor and the open-plan kitchen/diner fitted with solid wood units and worktops and a ceramic 'Belfast' sink. A rear door and French doors from the kitchen/diner lead outside. Upstairs, a small landing area gives way to all 3 double bedrooms and the good-sized bathroom, which also has separate shower unit. The front 2 bedrooms benefit the distant countryside views. Outside and attached to the garage is the useful utility area, which also has a W.C.

Outside, a gated gravelled driveway provides off road parking for at least 3 vehicles and leads to a detached garage, which has power and lighting. Worthy of particular note, the landscaped terraced garden is positioned to the right side of the property and includes a paved patio seating area and decorative pond, while steps lead up past an abundance of raised beds to a 'Rhino' greenhouse.

Overall this south-west facing garden is beautifully stocked with a variety of mature shrubs and plants is perfect for horticultural enthusiasts to get stuck into! The top section of garden can almost be described as a paddock and is once again stocked with an array of shrubs, specimen trees and fruit trees. This particular area is incredibly private and could be used for a variety of purposes and borders open countryside and is the best spot at the property to enjoy the distant views.

The Location

As already mentioned, Spring Vale is conveniently located approximately 1 mile from Tenbury Wells, or more locally known as Tenbury, which is a close knit, historic market town situated in the very north west of rural Worcestershire alongside The River Teme, which separates Worcestershire and Shropshire while the Herefordshire border is also less than a mile away.

Tenbury and the surrounding areas are known for growing hops and cider apples and renowned for its outstanding natural beauty and is a haven for nature enthusiasts and those of an active disposition. Encompassed by stunning scenic countryside with rolling hill tops as far as the eye can see the town and nearby surroundings are popular with walkers and cyclists and present a variety of outdoor pursuits.

A rural town, but by no means remote, Tenbury is nestled between historic Ludlow (9 miles north-west), Leominster (9 miles south-west) and Kidderminster



(17 miles north east). The town offers a host of everyday essentials, with an excellent range of independent retailers and a number of supermarkets chains, farm materials, post office, GP surgery, electrical stores and a large array of pubs and restaurants. If you like to spend your time soaking up some local culture Tenbury plays host to a theatre - The Regal which host a number of theatrical shows, film screenings and art exhibitions throughout the year. If you are somebody that likes to participate in leisure activities then Tenbury is an ideal place for you, the town has many sporting and recreational facilities including a Football Club, Rugby Club, and an Bowling Club. There is also a leisure centre housing a full sized swimming pool and gymnasium. Educational facilities include a pre schools, primary schools and a high school.

Tenure

We are informed the property is of freehold tenure.

Council Tax

Shropshire Council - Band C.

Services

We are informed the property is connected to mains electricity and water. Private septic tank drainage.

Heating

LPG central heating and a wood-burning stove.

Broadband

Enquiries indicate the property has an estimated fibre broadband speed of 36MB. Interested parties are advised to make their own enquiries.

Nearest Towns/Cities

- Tenbury Wells - 1 miles
- Ludlow - 10 miles
- Leominster - 10 miles
- Kidderminster - 16 miles
- Worcester - 21 miles
- Hereford - 23 miles

What3words

nods.softly.shippers

Money Laundering Regulations

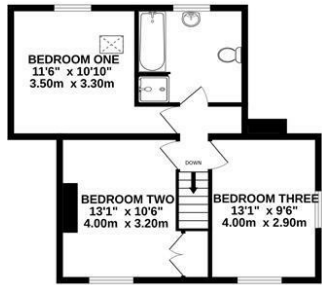
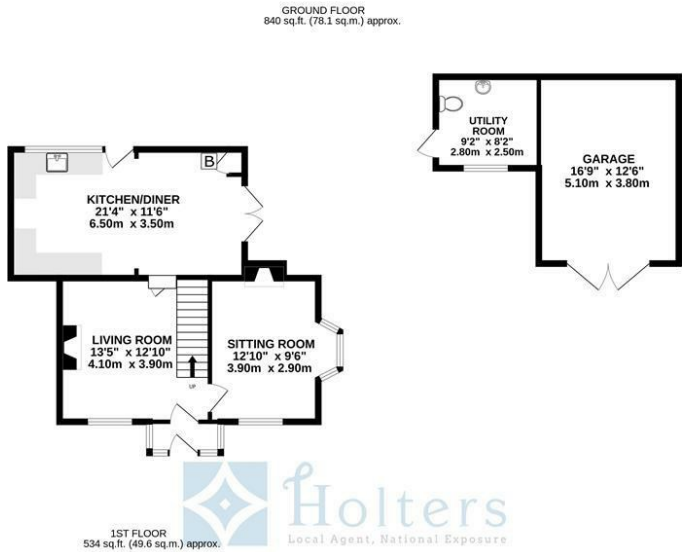
In order to comply with current legislation, we are required to carry out Anti-Money Laundering checks on all prospective purchasers verifying the customer’s identity. A company called Credit Safe provide Anti Money Laundering compliance reports for us, the cost of which is to be covered by prospective purchasers. At the point of your offer being verbally accepted, you agree to paying a non-refundable fee of £29.95 +VAT (£35.94 inc. VAT) per purchaser in order for us to carry out our due diligence.

Wayleaves, Easements and Rights of Way

The property will be sold subject to and with the benefits of all wayleaves, easements and rights of way, whether mentioned in these sales particulars or not.

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Consumer protection from unfair trading regulations 2008 - Holters for themselves and for the vendors or lessors of this property whose agents they are give notice that: 1. These particulars are set out as a general outline only for the guidance of intended purchasers or lessors and do not constitute part of an offer or contract. 2. All descriptions, dimensions, reference to condition and necessary permissions for use and occupation, and other details are given without responsibility and any intending purchasers or tenants should not rely on them as statements or representations of fact but must satisfy themselves by inspection or otherwise as to the correctness of each term of them. 3. The vendors or lessors do not make or give, and neither do Holters for themselves nor any person in their employment have any authority to make or give any representation or warranty whatever in relation to this property.



TOTAL FLOOR AREA : 1374 sq.ft. (127.7 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

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Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		97
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E	39	
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	

